



**CITY OF WASHOUGAL
CITY COUNCIL WORKSHOP AGENDA
Monday, May 22, 2023
5:00 PM**

MEETING INFORMATION

Please click the link below to join the webinar:
<https://us02web.zoom.us/j/81365079873>

I. CALL TO ORDER

II. ROLL CALL

III. PUBLIC COMMENTS

IV. NEW BUSINESS

- A. Community Development: Block 8 Multi-Family Housing Tax Exemption**
- B. Finance: 2023 Supplemental Budget**

V. PUBLIC COMMENTS

VI. REPORTS AND COMMUNICATIONS

- A. CITY MANAGER**
- B. MAYOR**
- C. CITY COUNCIL**

VII. ADJOURNMENT

UPCOMING MEETINGS: Monday, June 12, 2023 - Workshop at 5:00 pm and Council at 7:00 pm

BUSINESS OF THE CITY COUNCIL
City of Washougal, Washington

FOR AGENDA OF:

5/22/2023

SUBJECT:

MEETING INFORMATION

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81365079873>

DEPT. OF ORIGIN:

REVIEWED AT:

TO BE RETURNED TO COUNCIL:

No

EXPENDITURE REQUIRED:

BUDGETED:

APPROPRIATION REQUIRED:

SUMMARY STATEMENT

RECOMMENDED ACTION

Workshop Coversheet
BUSINESS OF THE CITY COUNCIL
City of Washougal, Washington

FOR AGENDA OF:

5/22/2023

SUBJECT:

CD: Block 8 Multi-Family Housing Tax Exemption

DEPT. OF ORIGIN:

Community Development

REVIEWED AT:

CD Council Committee: September 27, 2022

City Council Workshop: May 22, 2023

TO BE RETURNED TO COUNCIL:

Yes

ATTACHMENTS:

- ▢ **CD - Block 8 MHTE Workshop (5-22-23).pdf**
- ▢ **MHTE Agreement - Resolution (Block 8) - DRAFT**
- ▢ **Exhibit A - Application Form**
- ▢ **Exhibit B - Acknowledgement of Potential Tax Liability**
- ▢ **Exhibit C - Applicant Affidavit**
- ▢ **Exhibit D - Vicinity Map**
- ▢ **Exhibit E - Site Plan & Floorplans**
- ▢ **Exhibit F - Elevations**
- ▢ **Exhibit G - Standards & Guidelines Findings (Block 8)**

EXPENDITURE REQUIRED:

\$0

BUDGETED:

\$0

APPROPRIATION REQUIRED:

\$0

SUMMARY STATEMENT

The proposed Block 8 development consists of 46 apartments and approximately 1,200 sq ft of retail within a six (6) story building at the northwest corner of Main Street and Pendleton Way. The applicant is requesting a Multi-Family Housing Tax Exemption pursuant to WMC 3.58.

The applicant has submitted the necessary documentation requesting the tax exemption, which is attached as Exhibits A through F. Staff has reviewed the proposal and based on the findings in the attached Exhibit G recommend that the City Council authorize the Mayor to sign the Resolution memorializing the agreement between Shoug Life, LLC and the City of Washougal regarding the Multi-Family Housing Tax Exemption for the Block 8 development.

RECOMMENDED ACTION

Set a public hearing for June 12, 2022 at 7:00pm, through approval of the consent agenda, for the Block 8 Multi-Family Tax Exemption.

Block 8 Multi-Family Housing Tax Exemption

5/22/2023 – City Council Workshop Presentation | Presented by Mitch Kneipp, Community Development Director



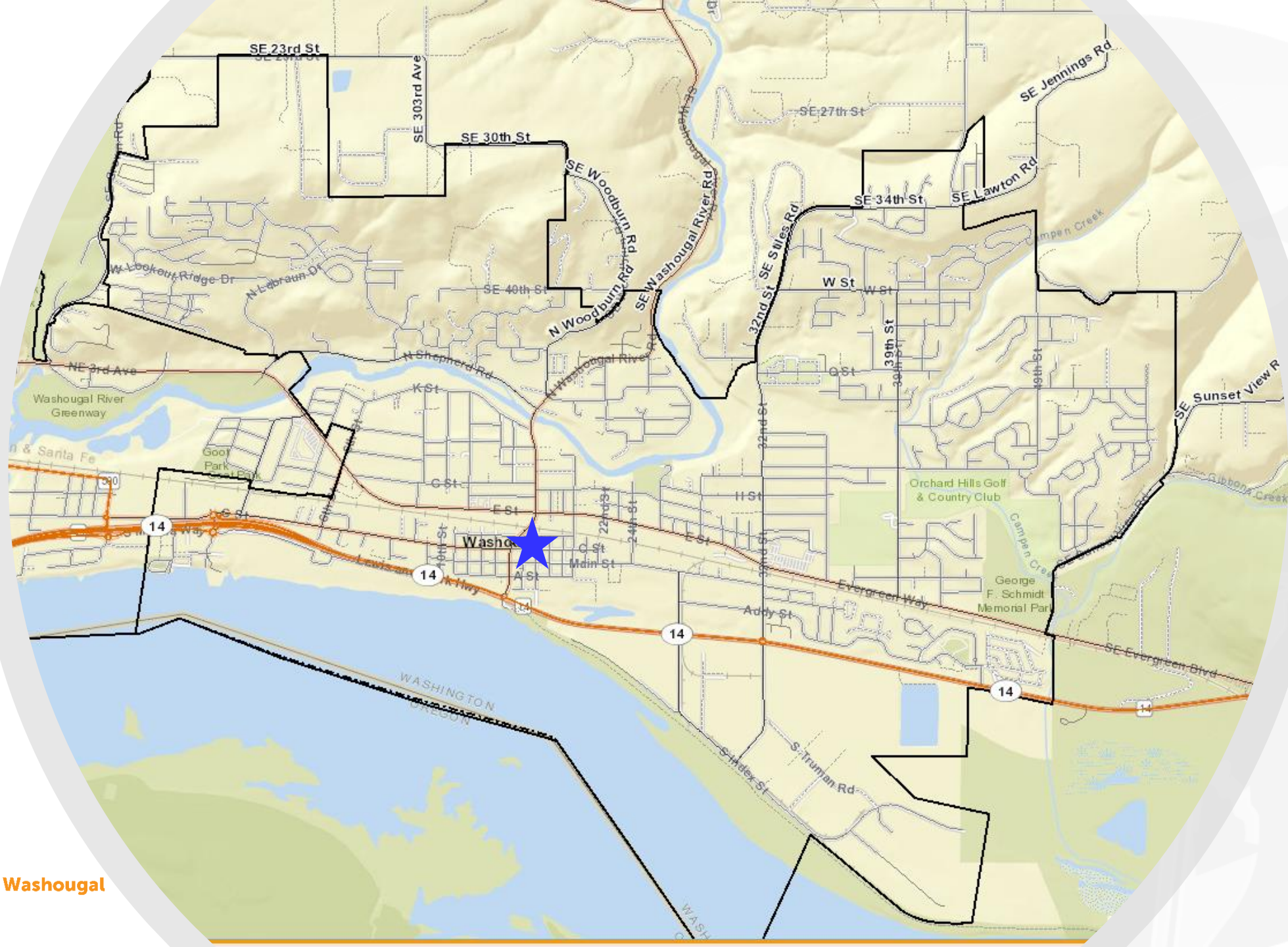
City of Washougal

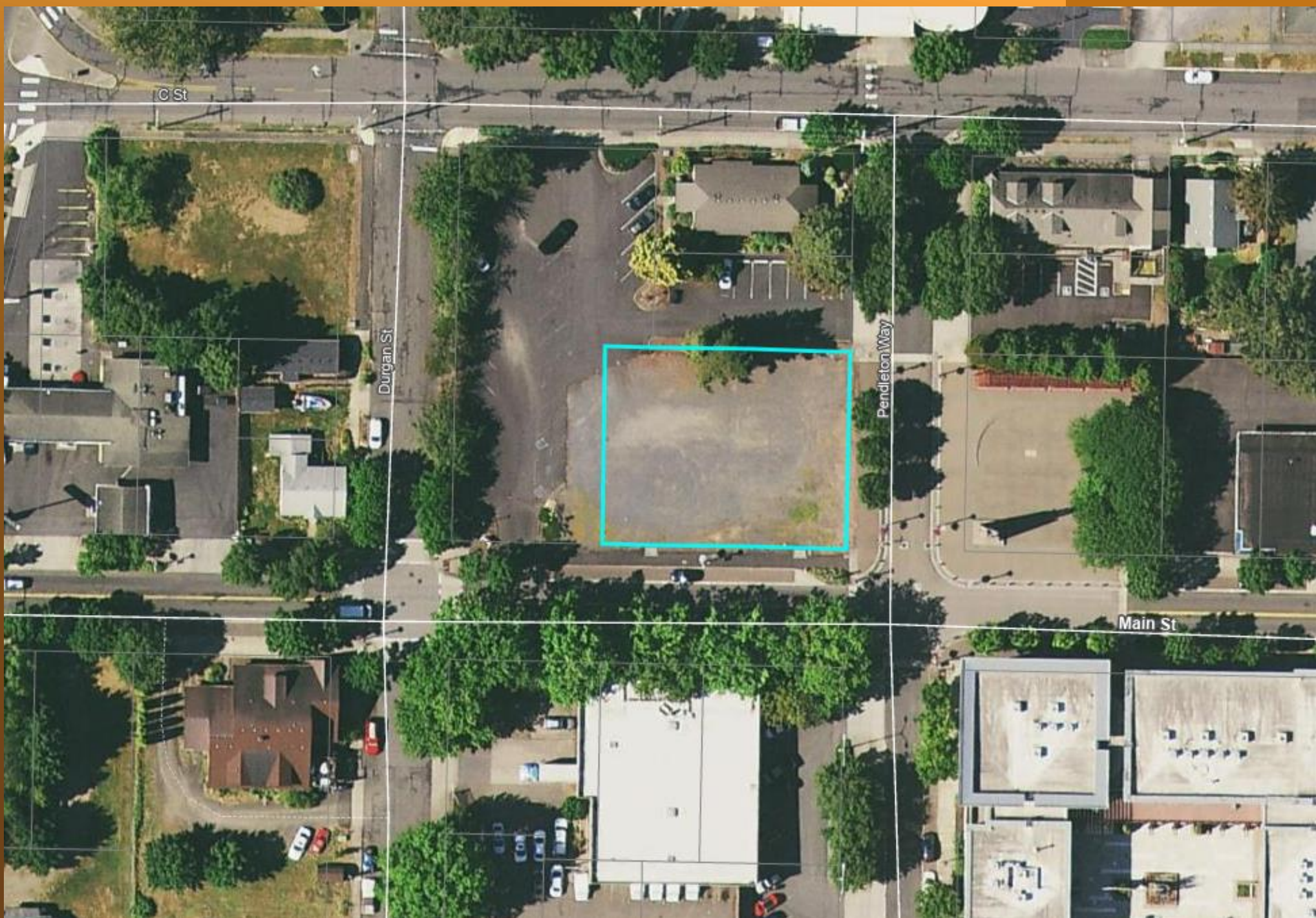
Block 8 MHTE Application

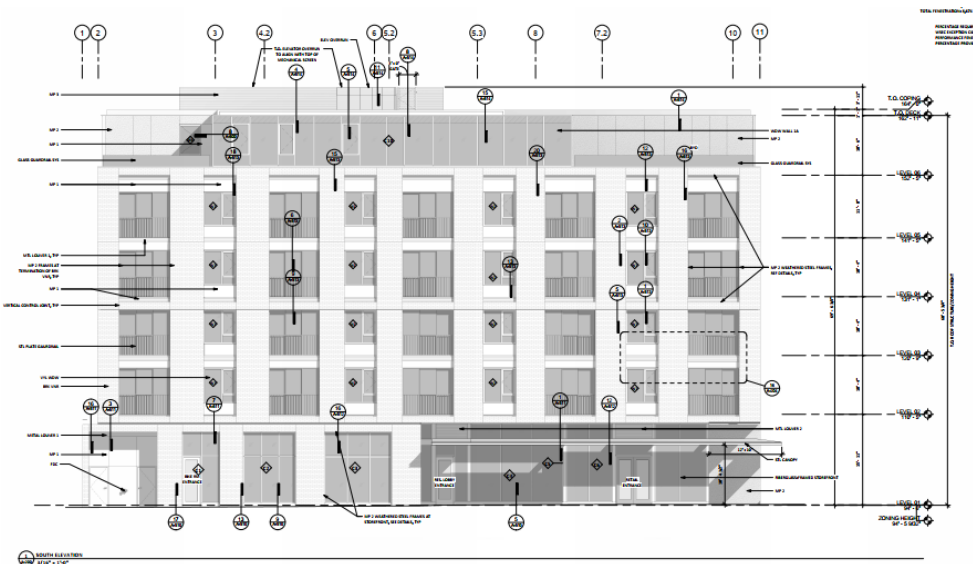
What we'll cover:

- Property Location / Elevations / Rendering
- Application Materials
- Purpose & Intent of the Multi-Family Housing Tax Exemption
- Project Eligibility
- Standards and Guidelines
- Recommended Action

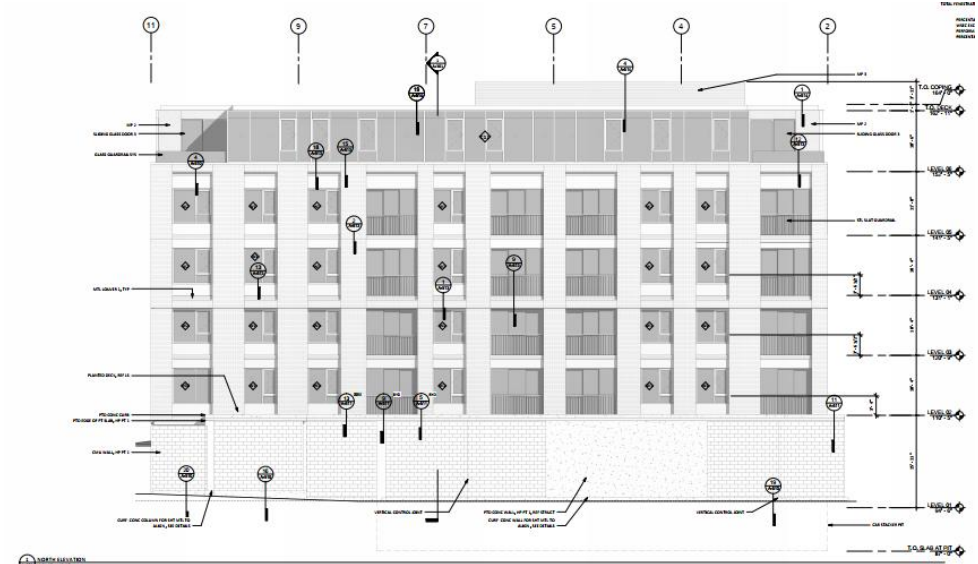






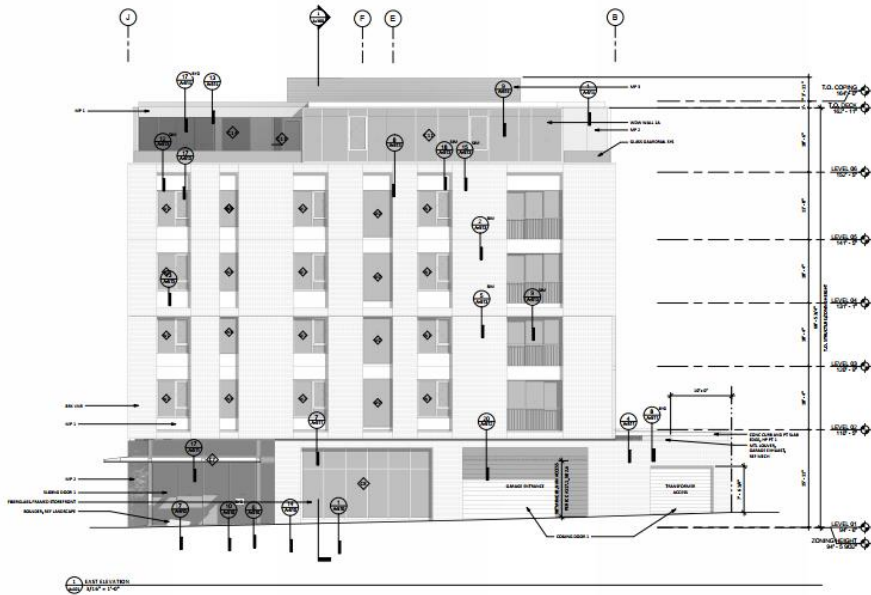


South

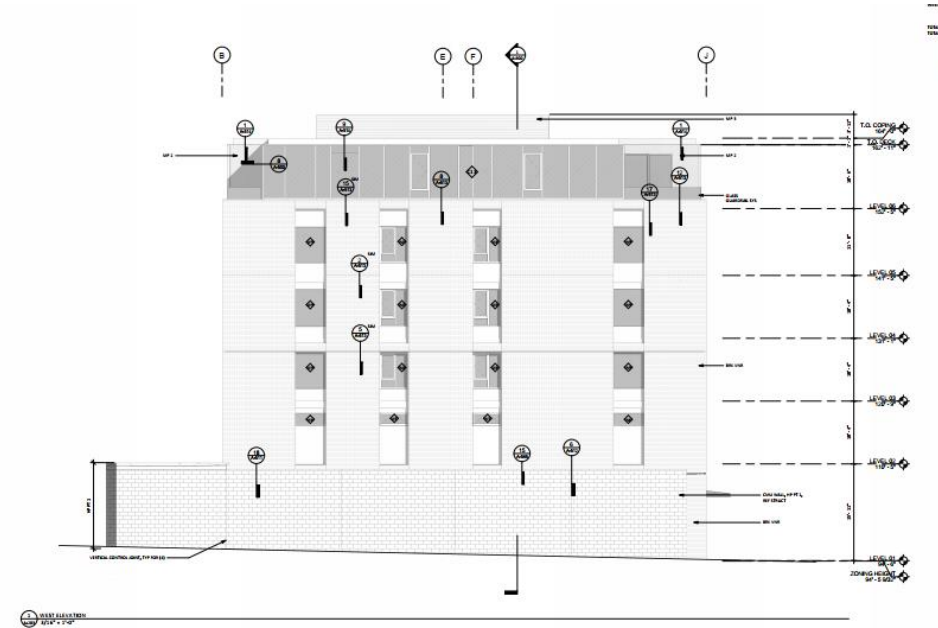


North





East



West





Block 8 MHTE Application

Application Materials:

- Exhibit A – Application Form
- Exhibit B – Acknowledgement of Potential Tax Liability
- Exhibit C – Applicant Affidavit
- Exhibit D – Vicinity Map
- Exhibit E – Site Plan
- Exhibit F – Site Plan & Floorplans

- Exhibit G – Standards & Guidelines Findings (Staff submittal to the record)



Block 8 MHTE Application

Purpose / Intent of the MHTE

- Purpose (WMC 3.58.010)

“It is the purpose of this chapter to encourage new private multifamily housing development and redevelopment within designated urban centers to accommodate future population growth, and provide places to live close to employment, shopping, entertainment, and transit services.”

- Intent (WMC 3.58.040)

- Encourage increased residential opportunities within urban centers designated by the city council as residential target areas;
- Stimulate new construction of, or rehabilitation of existing vacant and underutilized buildings for, multifamily housing in residential target areas to increase and improve housing opportunities;
- Assist in directing future population growth to designated urban centers, thereby reducing development pressure on single-family residential neighborhoods; and
- Encourage new construction or rehabilitation of owner-occupied multifamily housing where identified as desirable.



Block 8 MHTE Application

Project Eligibility (WMC 3.58.040(4))

- Location
 - (Town Center Core district)
- Size
 - (46 Units)
- Permanent Residential Housing
 - (Permanent)
- Completion Date
 - (Required within 3 years)
- Compliance with Standards and Guidelines



Block 8 MHTE Application

Standards and Guidelines (WMC 3.58.050-Exhibit G)

- Size
- Unit Type
- Parking
- Building Design
- Mixed-Use



Block 8 MHTE Application

Recommended Action:

- Set a hearing for June 12, 2023, at 7:00pm for the Block 8 Multi-Family Housing Tax Exemption through approval of the Consent Agenda.



Block 8 Multi-Family Housing Tax Exemption

5/22/2023 – City Council Workshop Presentation | Presented by Mitch Kneipp, Community Development Director



City of Washougal

RESOLUTION NO. _____

A RESOLUTION memorializing this AGREEMENT by and between Shoug Life, LLC (hereinafter referred to as “Applicant”), and the CITY OF WASHOUGAL (hereinafter referred to as “City”) regarding an application for a Multi-Family Housing Tax Exemption pursuant to WMC 3.58.

WHEREAS, the City desires to stimulate new construction of multi-family housing in certain designated urban areas in order to reduce development pressure on single-family residential neighborhoods, to increase and improve housing opportunities, and to encourage development densities supportive of transit use, and

WHEREAS, the City has, pursuant to authority granted to it under the Revised Code of Washington (RCW), designated various Residential Target Areas for the provision of limited property tax exemptions for new multi-family residential housing, and

WHEREAS, the City is interested in promoting new housing within the Designated Residential Target Areas, including the Town Center Core District, and

WHEREAS, the City has, as set forth at Chapter 3.58 of the Washougal Municipal Code (“WMC”), enacted a program whereby property owners may qualify for a Final Certificate of Tax Exemption which certifies to the Clark County Assessor and Treasurer that the Applicant is eligible to receive a limited property tax exemption, and

WHEREAS, the Applicant is interested in receiving a limited property tax exemption for constructing units of new multi-family residential housing within the Town Center Core District, which is a Designated Residential Target Area identified in WMC 3.58.030(3)(a), and

WHEREAS, the Applicant has submitted to the City a complete application for the City’s limited tax exemption program outlining the proposed development of new multi-family residential housing to be constructed on property addressed as 1625 Main Street, Washougal, WA (“Property”), and

WHEREAS, the City has reviewed this specific application and supporting documents and has determined that the proposed improvements to the Property will, if completed as proposed, satisfy all requirements of WMC 3.58 for the issuance of a Final Certificate of Tax Exemption; however, this approval does not create any type of precedence for future approvals of similar construction.

NOW THEREFORE, BE IT RESOLVED the City and Applicant mutually agree as follows:

Section I

The City finds that the submittal as shown in Exhibits A through F meets all the standards and guidelines pursuant to WMC 3.58.050 for the Town Center Core District and such findings are demonstrated in Exhibit G attached hereto and incorporated by this reference.

Section II

The City agrees to issue the Applicant a Conditional Certificate of Acceptance of Tax Exemption.

Section III

The Applicant agrees to construct on the site, in substantial conformance with, the multi-family residential housing as detailed in Exhibits A through F attached hereto.

Section IV

The Applicant agrees to complete construction of the agreed upon improvements within three years from the date the City issues the Conditional Certificate of Acceptance of Tax Exemption, or within any extension thereof granted by the City.

Section V

The Applicant agrees, upon completion of the improvements and upon issuance by the City of a temporary or permanent certificate of occupancy, to file with the City's Director of Community Development ("Director") the following:

- (a) A statement of expenditures made with respect to each multi-family housing unit and the total expenditures made with respect to the entire property;
- (b) A description of the completed work and a statement of qualifications for the exemption; and

- (c) A statement that the work was completed within the required three-year period or any authorized extension.

Section VI

The City agrees, conditioned on the Applicant's successful completion of the improvements in accordance with the terms of this Agreement and on the Applicant's filing of the materials described in Section V above, to file a Final Certificate of Tax Exemption with the Clark County Treasurer and Assessor within forty days.

Section VII

The Applicant agrees, within 30 days following the first anniversary of the City's filing of the Final Certificate of Tax Exemption, and each year thereafter for a period of eight (8) years, to file a notarized declaration with the Director indicating the following:

- (a) A statement identifying the total number of occupied and vacant multi-family units receiving a property tax exemption;
- (b) A certification that the property continues to be in compliance with this Agreement, Chapter 3.58 WMC, and Chapter 84.14 RCW;
- (c) A description of any improvements or changes to the property constructed after the issuance of the certificate of tax exemption.

Section VIII

The applicant agrees to maintain the property including all improvements in compliance with all applicable City codes and requirements.

Section IX

The Applicant agrees to maintain records supporting all information provided to the City and to make those records and the multi-family units available for inspection by the City. Failure to submit the annual declaration identified in Section VII or to maintain adequate records may result in the tax exemption being canceled.

Section X

If the Applicant converts any of the new multi-family residential housing units constructed under this Agreement to another use, the Applicant shall notify the Clark County Assessor and Treasurer and the Director within 60 days of such change in use.

Section XI

The Applicant agrees to notify the Director promptly of any transfer of the Applicant's ownership interest in the site or in the improvements made to the site under this Agreement.

Section XII

The City reserves the right to cancel the Final Certificate of Tax Exemption should the Applicant, its successors and assigns, fail to comply with any of the terms and conditions of this Agreement. Cancellation of the Final Certificate of Tax Exemption may subject the Applicant to potential tax liability as further described in RCW 84.14.

Section XIII

No modifications of this Agreement shall be made unless mutually agreed upon by the parties in writing.

Section XIV

In the event that any term or clause of this Agreement conflicts with applicable law, such conflict shall not affect other terms of this Agreement which can be given effect without the conflicting term or clause, and to this end, the terms of this Agreement are declared to be severable.

Section XV

Applicant agrees that this Agreement is subject to the Washougal Multi-Family Housing Tax Exemption set forth at Washougal Municipal Code, Chapter 3.58.

Section XVI

PASSED by the Council for the City of Washougal at a regular meeting this 12th day of June 2023.

City of Washougal, Washington

Applicant

David Stuebe, Mayor

Wes Hickey, Shoug Life, LLC

Attest:

Daniel Layer, City Clerk/Finance Director

Approved as to form:

Robert Zeinemann, City Attorney

Multi-Family Tax Exemption Application

Pursuant to WMC 3.58

Applicant Information

Applicant: Edlen & Co. LLC Phone #: (503) 388-2780

Mailing Address: 151 SW 1st Ave, Ste 300, Portland State: OR Zip Code: 97202

Email: carly.harrison@edlenandco.com

Property Owner: Shoug Life, LLC Phone #: (360) 335-1945

Mailing Address: PO Box 1126 State: WA Zip Code: 98671

Email: wes@lonewolfinvestments.com

Project Location: 1625 Main Street, Washougal, WA Tax lot # 73690000

Located within Target Area

☒ Town Center – Core and East Village District

☐ Waterfront Commercial District

Estimated cost of construction: \$ 26,000,000 Sq.ft: 53,823

Total number of units: 46

Does the project involve rehabilitation of any multi-family units? Yes () No (X)

If yes, certify that the existing structure(s) are vacant for 12 months or longer, or that there is modification to existing structures being converted to residential space and/or to increase the number of multi-family housing units.

Estimated construct period:

Start date 5/15/2023

Completion date 8/19/2024

Multi-Family Tax Exemption Application

Pursuant to WMC 3.58

Application Forms

Statement of penalties due upon cancellation

To Be Completed in the Presence of a Notary Public. All property owners must complete this Statement.

If the exemption is canceled for noncompliance or the project ceases to be eligible under WMC 3.58, pursuant to Chapter 84.14 RCW, an additional tax shall be imposed as follows:

- A. The difference between the tax actually paid and the tax which would have been due for the prorated portion of the tax year following cancellation, and for each tax year thereafter, if the improvements had been valued without exemption, (not to exceed three years before the discovery of the noncompliance); plus
- B. A penalty of 20 percent of the difference, plus
- C. Interest at the statutory rate on (a) -t- (b) from the date tax could have been paid without penalty if the improvements had been assessed at a value without regard to the exemption.

The additional tax, interest and penalty (a) -t- (b) -t- (c) are due within the times provided by RCW 84.40.350 and 84.40.390, and the total bears interest thereafter at the rate provided for delinquent property taxes.

The additional tax, penalty and interest constitute a lien by the City of Washougal upon the land which attaches at the time the property is no longer eligible for exemption, and has priority to and must be fully paid and satisfied before a recognizance, mortgage, judgment, debt, obligation, or responsibility to or with which the land may become charged or liable.

AFFIRMATION

As owner(s) of the land described in the application, I hereby indicate by my signature that I am aware of the additional tax liability to which the property will be subject if the exemption authorized by Chapter 84.14 RCW, 1995 laws of Washington is canceled. I declare under penalty of perjury under the laws of the state of Washington that this application and any accompanying documents have been examined by me and that they are true, correct, and complete to the best of my knowledge.

Signature of Owner:

Date: 3/22/23

I certify that I know or have satisfactory evidence that Wes Hickey signed this instrument, on oath stated that he / she was authorized to execute the instrument as the Manager of Shoug Life LLC and acknowledged it to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated this 22nd day of March, 2023.



Signature Of Notary Public

Printed Name Of Notary Public

Notary Public For Washington, residing

My Commission Expires: 06-21-26



Multi-Family Tax Exemption Application

Pursuant to WMC 3.58

Applicant Affidavit

I declare by perjury under the laws of the State of Washington that:

- This application and the accompanying documents are true, correct and complete to the best of my knowledge.
- I am aware that, if an exemption is approved, when the exemption expires the property will be subject to an increase in property tax.
- I am aware that, if an exemption is approved, and the exemption is subsequently cancelled, the property will be subject to an increase in property tax, a penalty and interest as provided for in RCW 84.14.110.

Owner(s) and Contract Purchaser(s)

Wes Hickey

Print Name



Signature

3/22/23

Date

Print Name

Signature

Date



Exhibit D - Vicinity Map



Legend

-  Taxlots
- All Roads**
 -  Interstate or State Route
 -  Arterial
 -  Collector
 -  Private or Other

Notes:

Block 8 MFTE Application

188.0 0 94.00 188.0 Feet

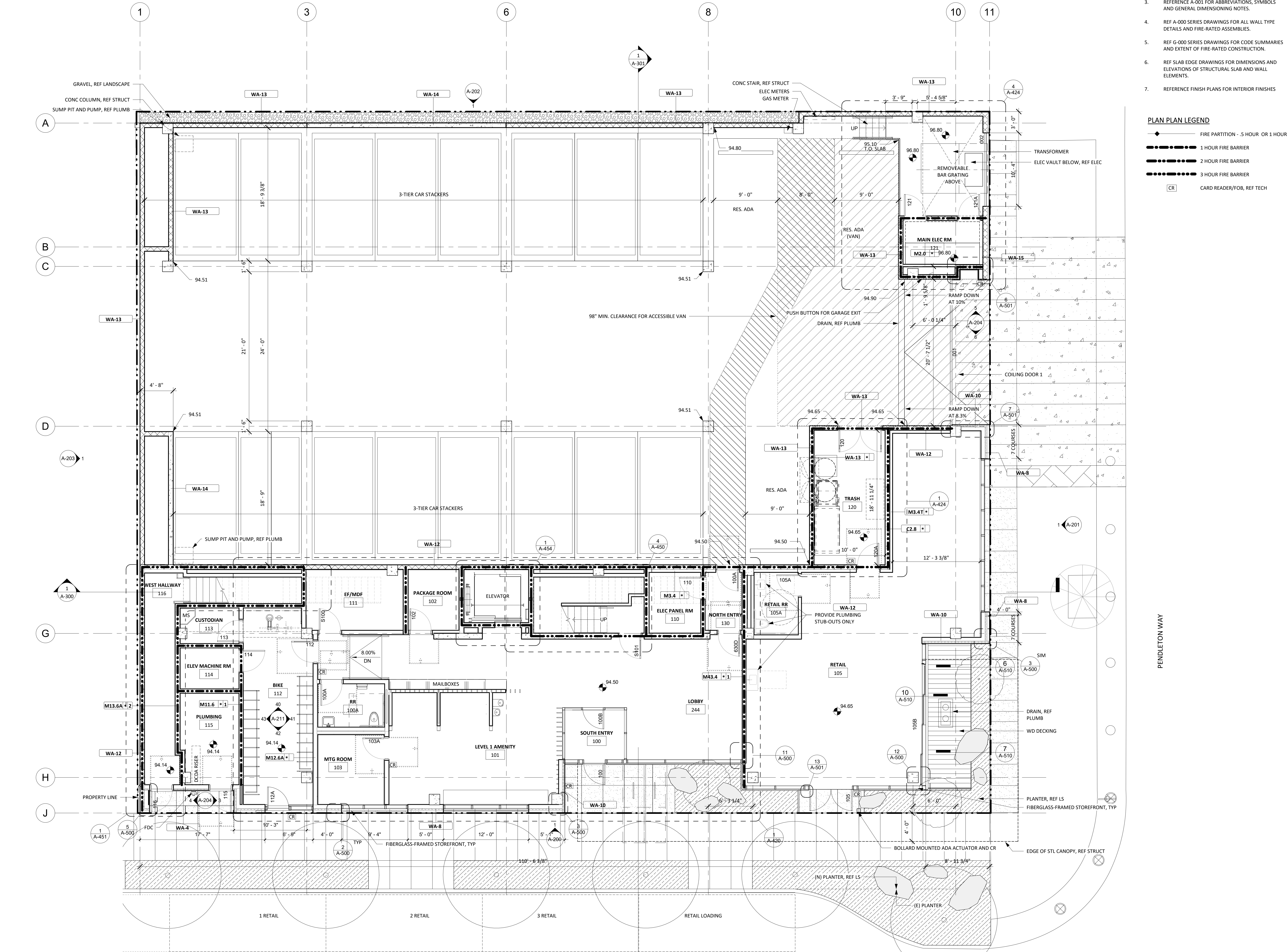
WGS_1984_Web_Mercator_Auxiliary_Sphere
Clark County, WA. GIS - <http://gis.clark.wa.gov>

1: 1,128



This map was generated by Clark County's "MapsOnline" website. Clark County does not warrant the accuracy, reliability or timeliness of any information on this map, and shall not be held liable for losses caused by using this information. Taxlot (i.e., parcel) boundaries cannot be used to determine the location of property lines on the ground.

Site Plan and Floorplans



ARCHITECTS

HACKER

555 SE MLK Jr. Blvd. Suite 501, Portland, OR 97214

CONSULTANT

STAMP

REVISION NO.

DATE

TRUE NORTH PLAN NORTH

BLOCK 8

LONE WOLF DEVELOPMENT LLC
1625 MAIN STREET
WASHOUGAL, WA 98671

ISSUANCE
PERMIT SET

PROJECT NUMBER
02206

DATE
10/7/2022

SCALE
As indicated

DRAWING TITLE
FLOOR PLAN LEVEL 1

SHEET NUMBER

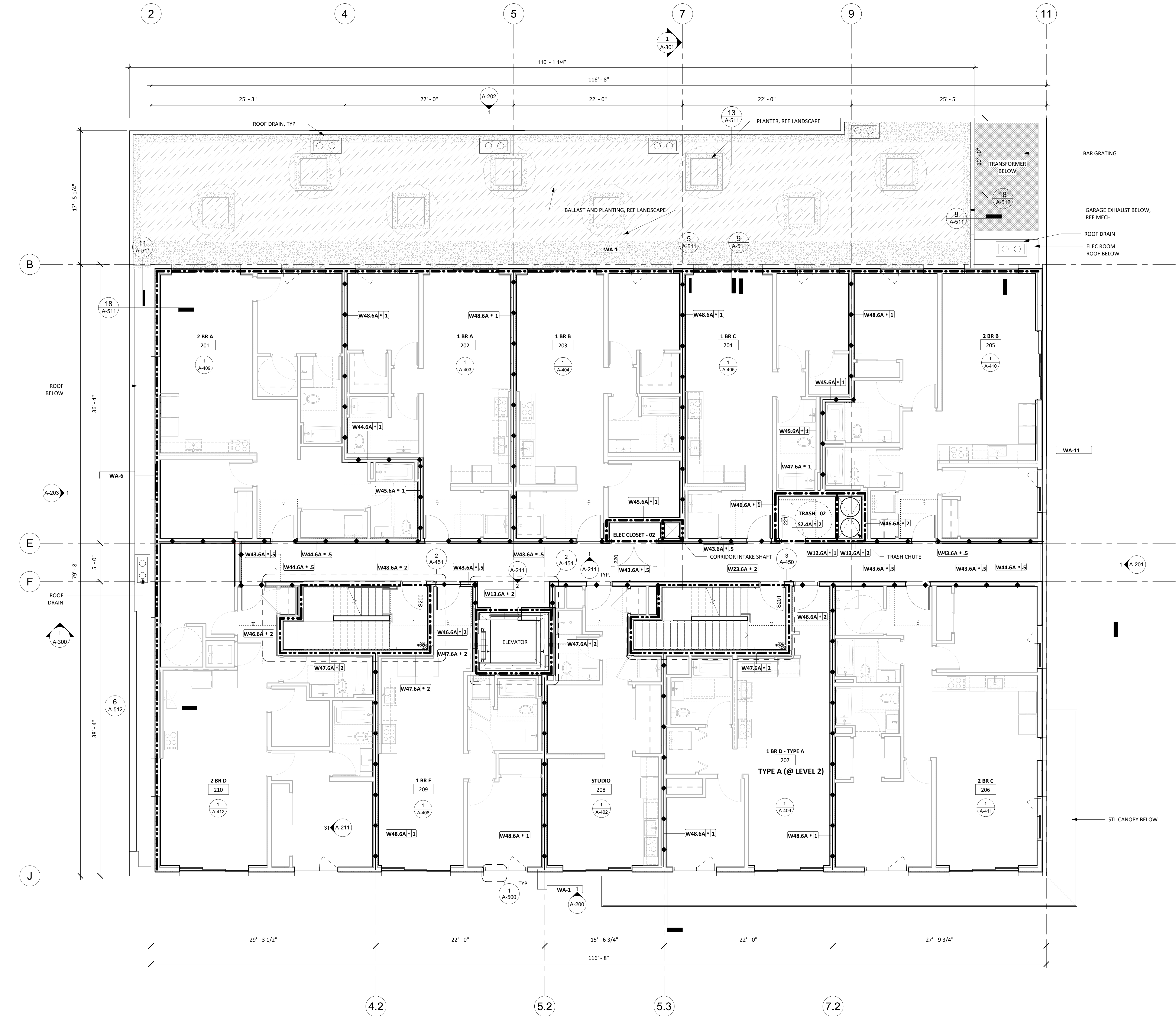
A-101

GENERAL NOTES - FLOOR PLAN

- REFERENCE CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
- REF LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE/PATH OF TRAVEL DRAWINGS.
- REFERENCE A-001 FOR ABBREVIATIONS, SYMBOLS AND GENERAL DIMENSIONING NOTES.
- REF A-000 SERIES DRAWINGS FOR ALL WALL TYPE DETAILS AND FIRE-RATED ASSEMBLIES.
- REF G-000 SERIES DRAWINGS FOR CODE SUMMARIES AND EXTENT OF FIRE-RATED CONSTRUCTION.
- REF SLAB EDGE DRAWINGS FOR DIMENSIONS AND ELEVATIONS OF STRUCTURAL SLAB AND WALL ELEMENTS.
- REFERENCE FINISH PLANS FOR INTERIOR FINISHES

PLAN PLAN LEGEND

- FIRE PARTITION - .5 HOUR OR 1 HOUR
- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE BARRIER
- 3 HOUR FIRE BARRIER
- CARD READER/FOB, REF TECH





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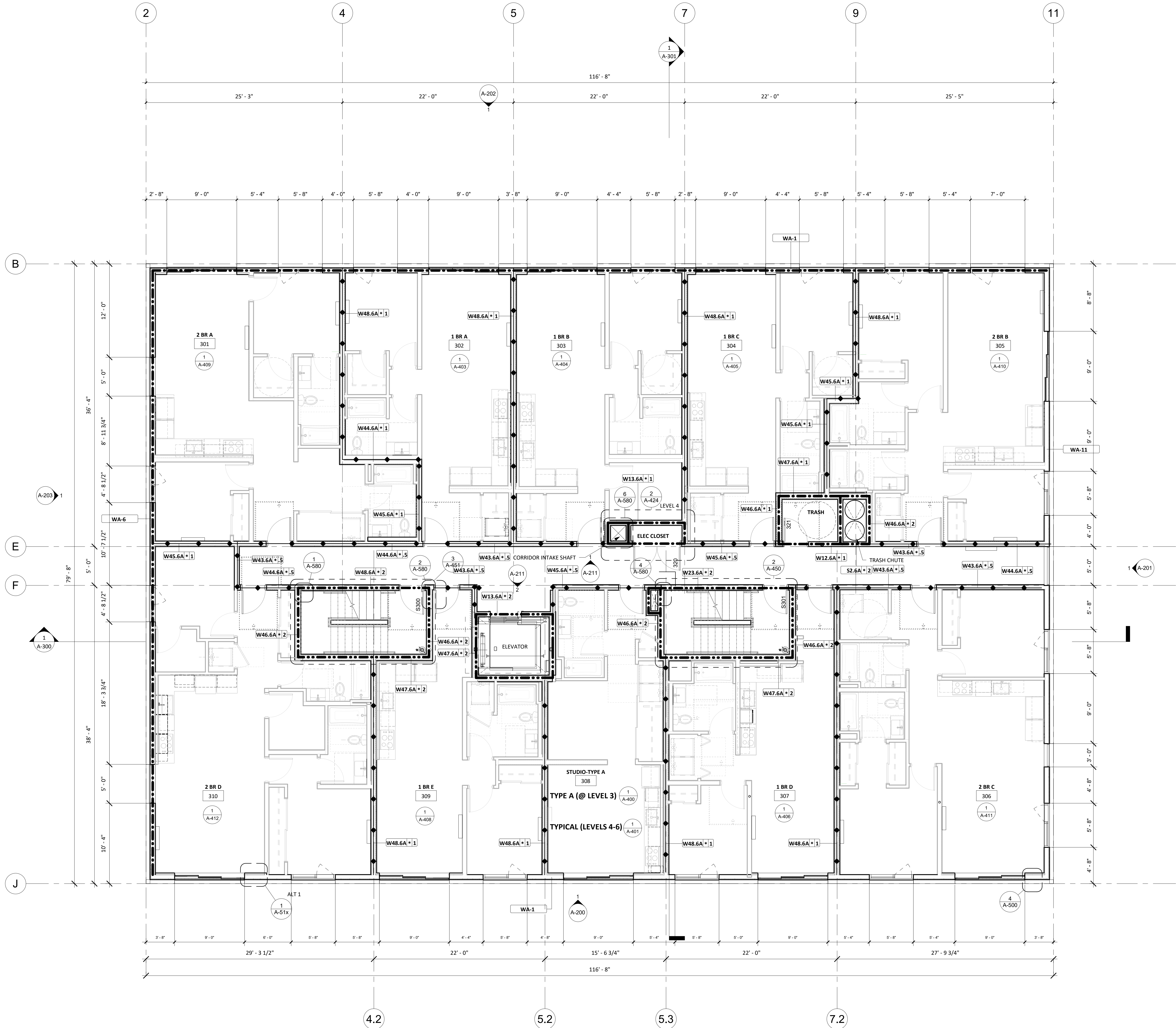
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FLOOR PLAN LEVELS 3-5

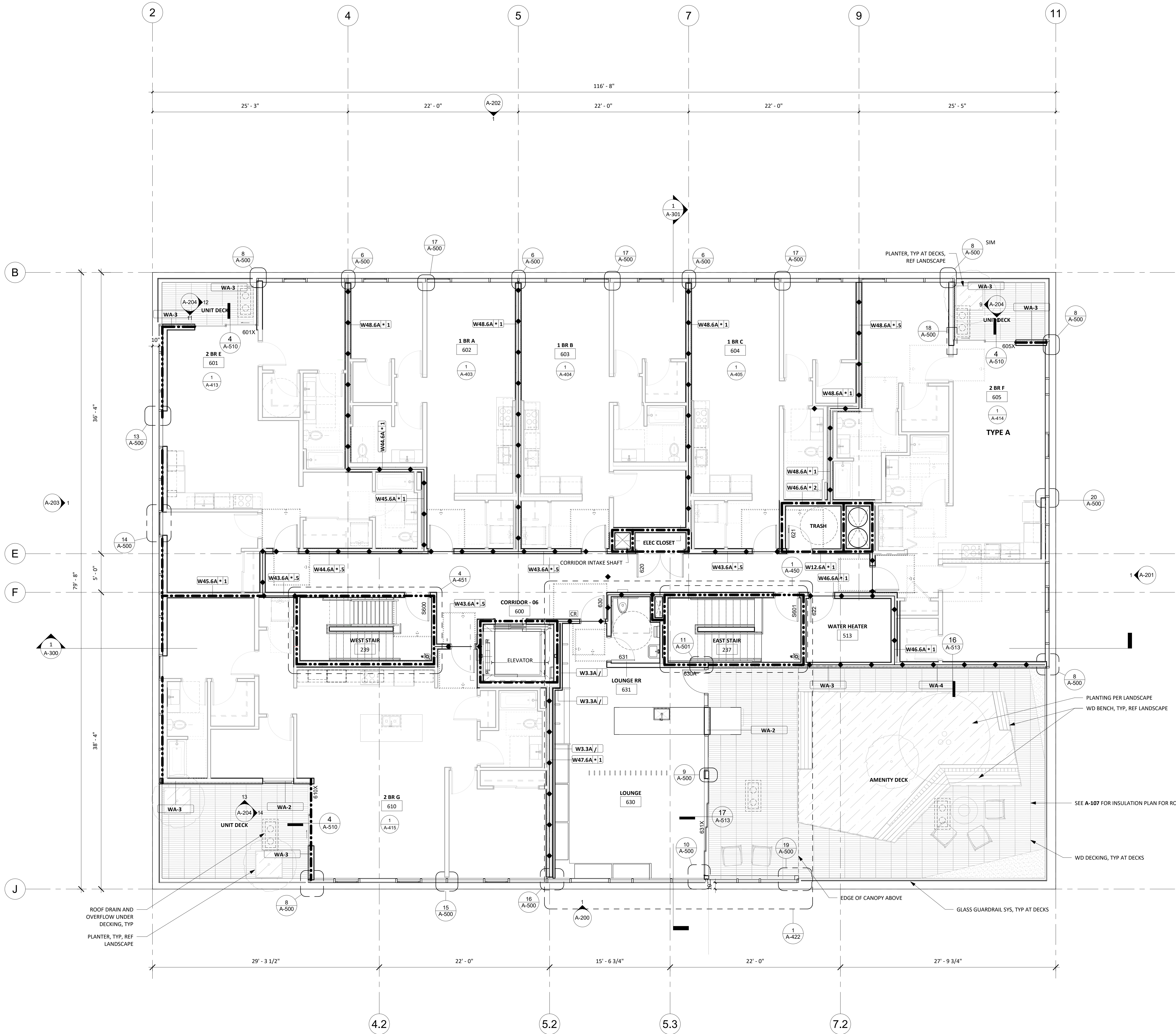
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1 FLOOR PLAN - LEVEL 06
3/16" = 1'-0"

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DRAWING TITLE
FLOOR PLAN LEVEL 6

SHEET NUMBER

A-106

Exterior Elevations

ARCHITECTS

HACKER

555 SE MLK Jr. Blvd. Suite 501, Portland, OR 97214

CONSULTANT

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REF CIVIL DRAWINGS FOR GRADING.
2. REF A-600 FOR EXTERIOR FRAME TYPES.
3. REF A-204 FOR VERTICAL BRICK MODULARIZATION; REF FLOOR PLANS FOR HORIZONTAL BRICK MODULARIZATION
4. VERTICAL FENESTRATION MAXIMUM AREA PER WSEC 2018, C402.4.1:

NORTH ELEVATION
WALL AREA: 5,058 SF
FENESTRATION: 2,853 SF

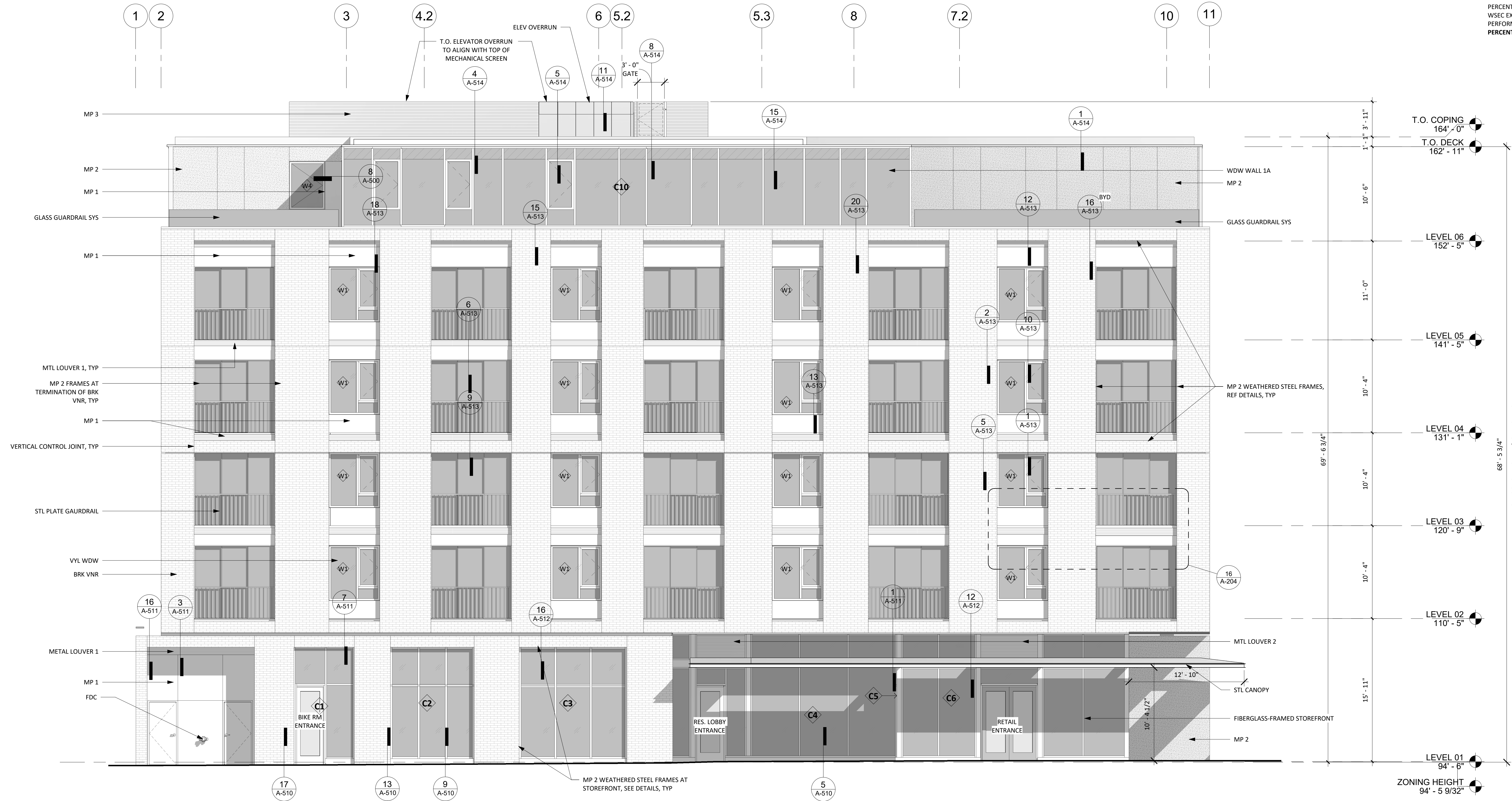
EAST ELEVATION
WALL AREA: 3,240 SF
FENESTRATION: 1,891 SF

SOUTH ELEVATION
WALL AREA: 4,769 SF
FENESTRATION: 3,388 SF

WEST ELEVATION
WALL AREA: 4,324 SF
FENESTRATION: 542 SF

TOTAL WALL AREA: 17,392
TOTAL FENESTRATION: 8,674

PERCENTAGE REQUIRED: MAXIMUM 40% PER
WSEC EXCEPTION C402.4.1.1.2 HIGH
PERFORMANCE FENESTRATION
PERCENTAGE PROVIDED: 33.28%



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EXTERIOR ELEVATIONS

SHEET NUMBER

A-200

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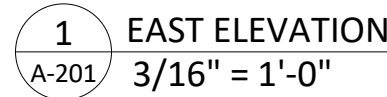
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PERCENTAGE PROVIDED: 33.28%



1 NORTH ELEVATION
A-202 3/16" = 1'-0"

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- VERTICAL FENESTRATION MAXIMUM AREA PER WSEC 2018, C402.4.1:

NORTH ELEVATION

WALL AREA: 5,058 SF
FENESTRATION: 2,853 SF

EAST ELEVATION

WALL AREA: 3,240 SF
FENESTRATION: 1,891 SF

SOUTH ELEVATION

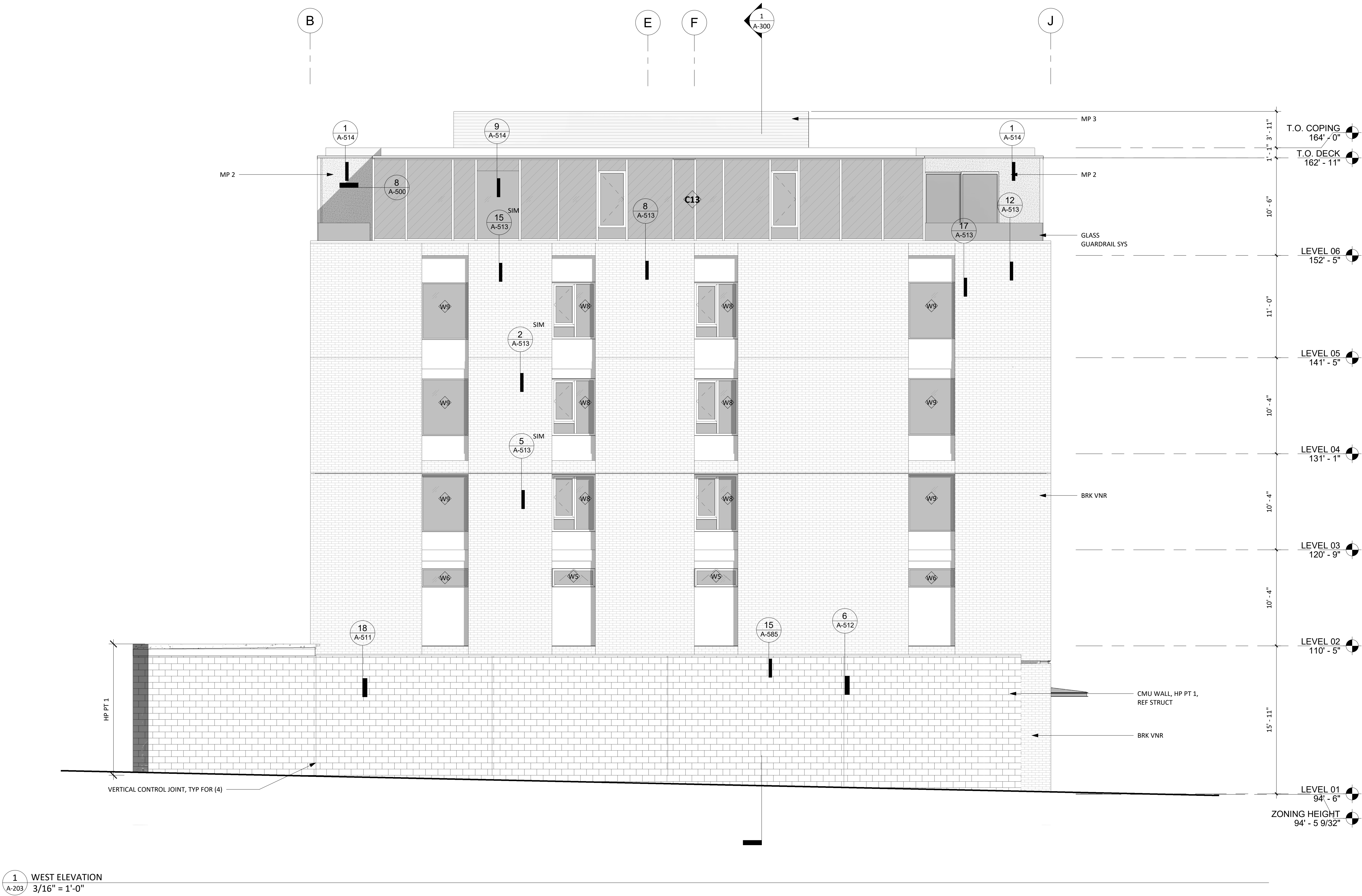
WALL AREA: 4,769 SF
FENESTRATION: 3,388 SF

WEST ELEVATION

WALL AREA: 4,324 SF
FENESTRATION: 542 SF

TOTAL WALL AREA: 17,392
TOTAL FENESTRATION: 8,674

PERCENTAGE REQUIRED: MAXIMUM 40% PER
WSEC EXCEPTION C402.4.1.1.2 HIGH
PERFORMANCE FENESTRATION
PERCENTAGE PROVIDED: 33.28%



STAMP

REVISION NO.

DATE



BLOCK 8

LONE WOLF DEVELOPMENT LLC
1625 MAIN STREET
WASHOUGAL, WA 98671

ISSUANCE
PERMIT SET

PROJECT NUMBER
02206

DATE
10/7/2022

SCALE
As indicated

DRAWING TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A-203

Applicant:

Edlen & Co. LLC
151 SW 1st Ave, Suite 300
Portland, OR 97202
503-388-2780
carly.harrison@edlenandco.com

Property Owner:

Shoug Life, LLC
P.O. Box 1126
Washougal, WA 98671
360-335-1945
wes@lonewolfinvestments.com

Project Location:

1625 Main Street, NW Corner of Main Street and Pendleton Way

Parcel Numbers:

073690-000

Estimated Cost of Construction:

\$26,000,000.00

Residential Target Area:

Town Center Core

Findings pursuant to WMC 3.58.050(1)

Town center core and east village district – Standards and guidelines

Criteria:

(a) Size. The project shall include at least four new or additional units of multifamily housing located in a minimum two-story building.

Finding:

The proposed building is providing 46 new multifamily housing units in a six-story building.

Criteria:

(b) Unit Type. All residential units within the project shall contain private kitchen and bathroom facilities.

Finding:

Based on the provided floor plans each unit will have a private kitchen and bathroom facilities.

Criteria:

(c) Parking. All multifamily units regardless of the underlying zone shall include a minimum of one off-street parking space per unit, which shall be located on the property. All parking areas shall be screened from current and future state highways, public trails and walkways, and public and private streets by a landscape buffer consistent with the provisions of WMC Title 18 or an applicable development agreement. Parking areas adjacent to private streets that serve as access

to parking drive aisles located on both sides of the private street are not subject to this requirement. Alternative parking screening may be approved as part of the contract agreement.

Finding:

The proposed development is providing 49 off-street parking stalls (1 per unit + 3 ADA van-accessible stalls) on the site. The parking is located within the building; therefore, it is appropriately screened from current and future rights-of-way.

Criteria:

(d) Building Design. All buildings shall meet the design standards for the zoning district or applicable development agreement. Additionally, all exterior walls visible from current and future state highways, public and private streets, public trails and walkways, and internal vehicular and pedestrian ways shall not be blank walls, and shall incorporate window glazing and at least two of the following features: wood, stone, or metal. Variety of treatments is encouraged for different elevations and when there are multiple buildings in the project. Building elevations shall be approved as part of the contract agreement. Alternative exterior wall elevation features may be approved as part of the contract agreement.

Finding:

The proposed development has already demonstrated compliance with the underlying zoning designation (TC-C) through preliminary approval of the site plan (SPR 22060051). Based on the proposed elevations there are no blank walls except for the lower west elevation, which will be located immediately adjacent to the future library building. The Main Street elevation includes 62% window glazing and the Pendleton Way elevation includes 75%. Metal kickplates, canopies, tall windows, and textured ornamental walls are also being provided.

Criteria:

(e) Mixed-Use, General Requirements. The project shall consist of a vertical mixed-use building or buildings, or shall consist of a master-planned mixed-use development.

Finding:

The project consists of a vertical mixed-use building.

Criteria:

(f) Vertical Mixed-Use Projects. Each building shall include at least four new or additional units of multifamily housing located in a minimum two-story mixed-use building. The nonresidential mixed-use shall occupy at a minimum the ground floor along the street frontage with a depth of at least 30 feet for any building in the project. This requirement may be modified by the contract agreement.

Finding:

The proposed project consists of 46 multi-family units in a six-story building.

The project meets the nonresidential requirements by providing 1,285 square feet of commercial space on the ground floor, which meet the depth requirements at the corner of Main Street and Pendleton Way.

Criteria:

(g) Master-Planned Mixed-Use Developments. The project shall include at least four new or additional units of multifamily housing located in a master-planned mixed-use site which shall include a minimum of one-third of the site area set aside for commercial development, which shall be limited to commercial buildings and related commercial parking. Parking areas that serve both commercial and residential uses shall not be counted toward the one-third requirement. Residential buildings shall be a minimum of two stories. Vertical mixed-use buildings are permitted in the commercial area provided the ground floor is nonresidential. The project shall contain a minimum 15 percent landscape area. Residential and commercial areas shall be part of a cohesive site plan, to include vehicular and pedestrian connectivity, pursuant to contract agreement.

Finding:

The project is a vertical mixed-use building; therefore, this criterion is not applicable.

Workshop Coversheet
BUSINESS OF THE CITY COUNCIL
City of Washougal, Washington

FOR AGENDA OF:

5/22/2023

SUBJECT:

2023 Supplemental Budget

DEPT. OF ORIGIN:

Finance

REVIEWED AT:

TO BE RETURNED TO COUNCIL:

Yes

ATTACHMENTS:

▮ **2023 Budget Amendment Presentation 05-22-2023**

EXPENDITURE REQUIRED:

BUDGETED:

APPROPRIATION REQUIRED:

SUMMARY STATEMENT

RECOMMENDED ACTION