



**CITY OF WASHOUGAL
CITY COUNCIL WORKSHOP
Monday, January 27, 2025
5:00 PM**

MEETING INFORMATION

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/87432227784>

I. CALL TO ORDER

II. ROLL CALL

III. PRESENTATION

A. Community Development: Comprehensive Plan Update - Draft Land Use Alternatives

IV. PUBLIC COMMENTS

V. NEW BUSINESS

VI. REPORTS AND COMMUNICATIONS

A. CITY MANAGER

B. MAYOR

C. CITY COUNCIL

VII. ADJOURNMENT

UPCOMING MEETINGS: Monday, February 10, 2025 Workshop at 5:00 pm and Council at 7:00 pm

[MEET_FOOT]

City Council and Planning Commission Joint Workshop

Monday, January 27, 2025 | 5:00 PM
Washougal City Hall Council Chambers



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Agenda

- **Project Overview**
- **Project Schedule**
- **Community Engagement**
- **Land Use Alternatives**
- **Questions and/or Discussion**
- **Next Steps**

Project Overview



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Project Overview

Project Schedule

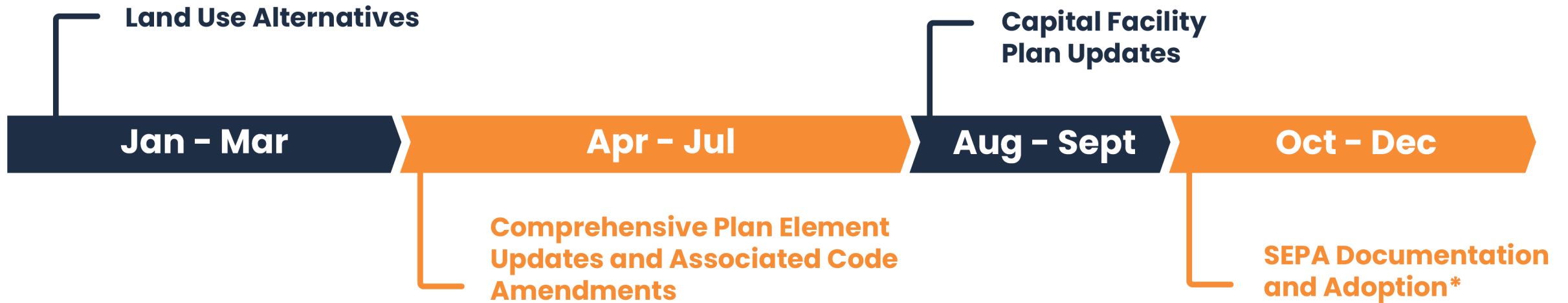


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2025 Public Meeting Schedule



*Adoption required by December 31, 2025

Community Engagement



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Engagement Process

Spring 2024

- Project Branding - Washougal Onward
- Development of Public Participation Plans



Fall 2024

- Community Advisory Committee recruitment + launch
- Pumpkin Harvest Festival
- Community Survey
- Comprehensive Plan Carnival

Winter 2024-25

- Continue Community Advisory Committee meetings
- Launch Housing and Climate subcommittees
- Land Use Alternatives Open House



Spring 2025

- Continue Community Advisory Committee meetings
- Continue Housing and Climate subcommittees

Land Use Alternatives



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Land Use Considerations

What are we planning for by 2045?

- 24,874 residents, an increase of 6,724 new people
- 3,735 new housing units
 - 1,961 housing units < 80% Area Median Income (AMI)
 - 1,773 housing units > 80% AMI
- 2,457 total new jobs

How do we plan for this?

- Evaluate capacity of land within city limits and the associated urban growth area
- Consider options to accommodate growth including regulatory changes, rezoning, UGA expansions, incentives.

AMI by Affordability Level*

120% of AMI = \$140,280

100% of AMI = \$116,900

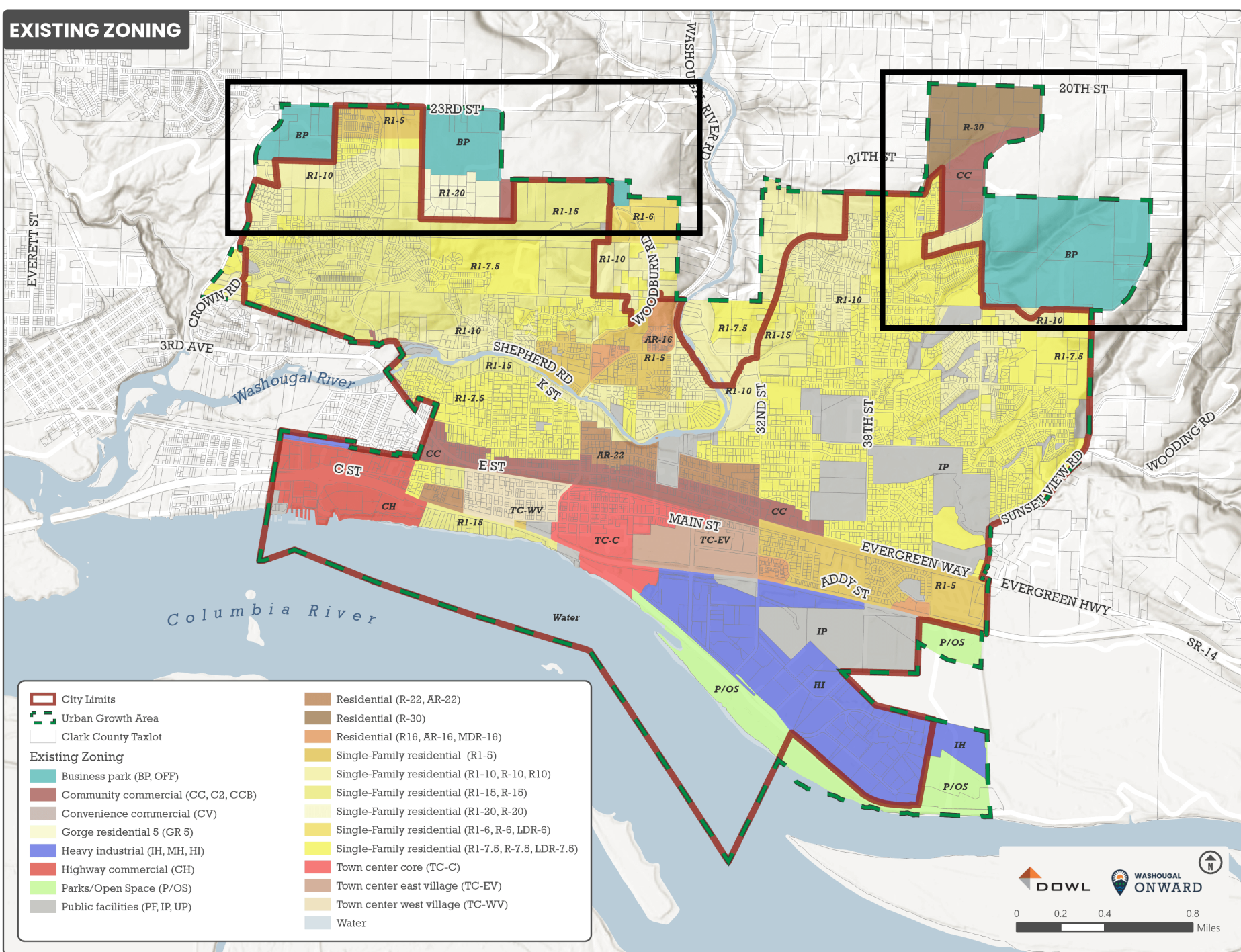
80% of AMI = \$94,400

50% of AMI = \$59,000

30% of AMI = \$35,400

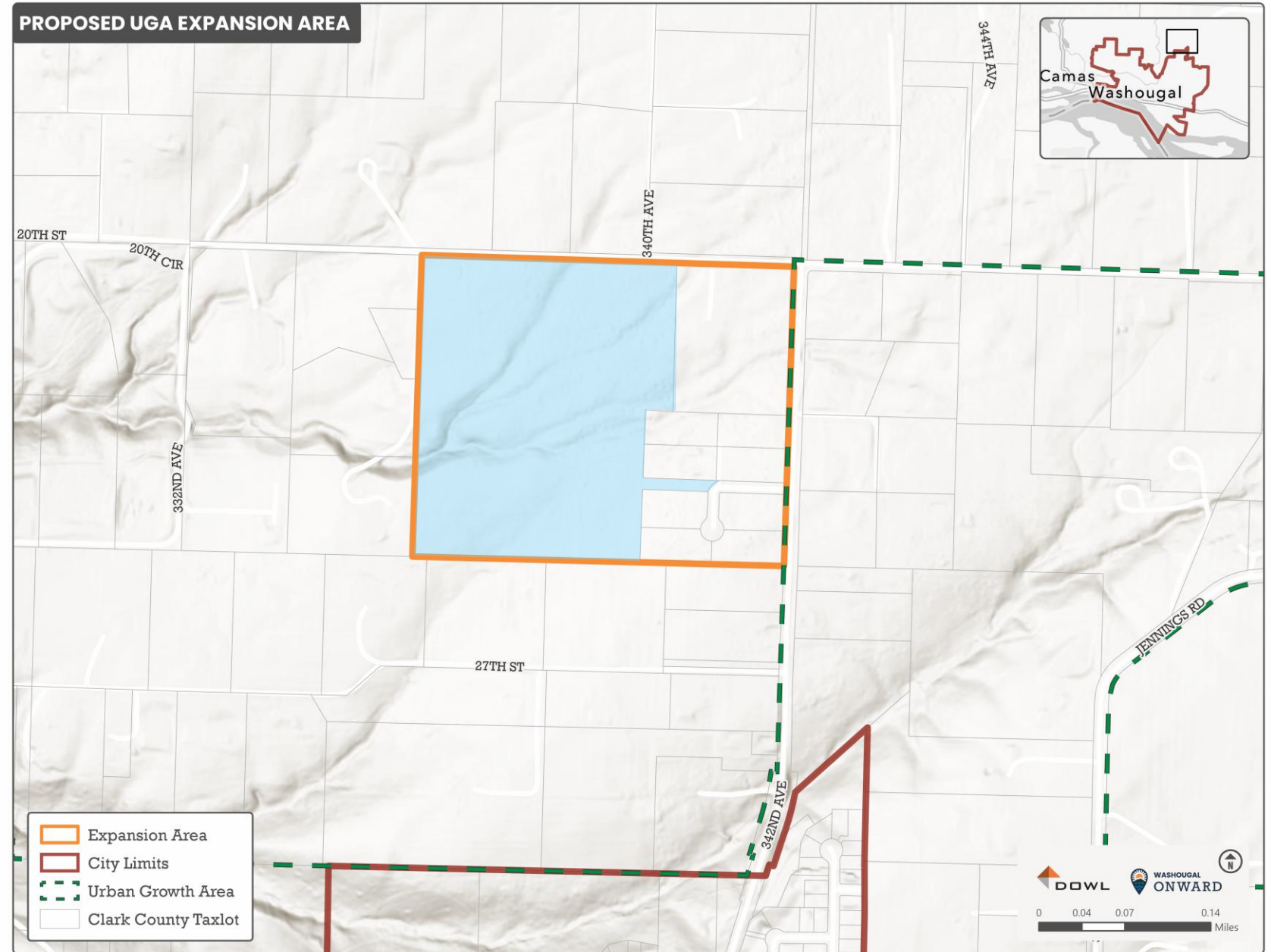
* 4 Person Household

EXISTING ZONING



Expansion Area

- ~ 47-acre expansion
 - 31 acres employment
 - 16 acres residential
- Site specific request initiated by Washougal School District to Clark County in early 2024
- Expansion area could increase job capacity and small amount of housing
- Expansion area is reflected in both local land use alternatives and is being studied in Countywide Environmental Impact Statement (EIS)



What We Heard

Housing

- Low–medium density housing outside city center
- High-density housing in downtown and along waterfront
- Affordability

Economic Development

- Support small businesses
- Increase retail/services in downtown
- More local jobs

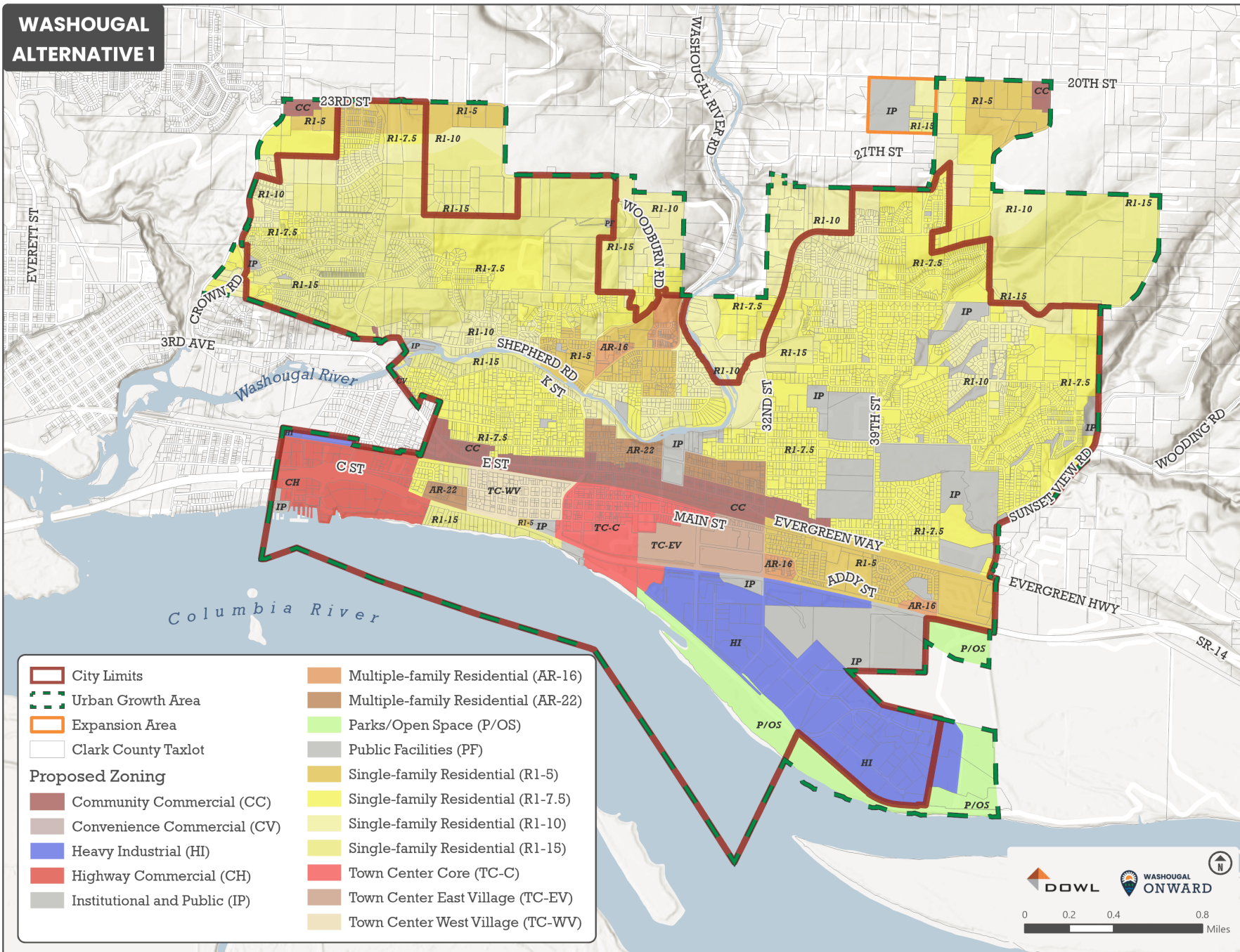
Infrastructure

- Make community walkable, accessible, and safe
- Improve systems to support development

Environmental

- Preserve natural areas and protect trees
- Improve access to recreation

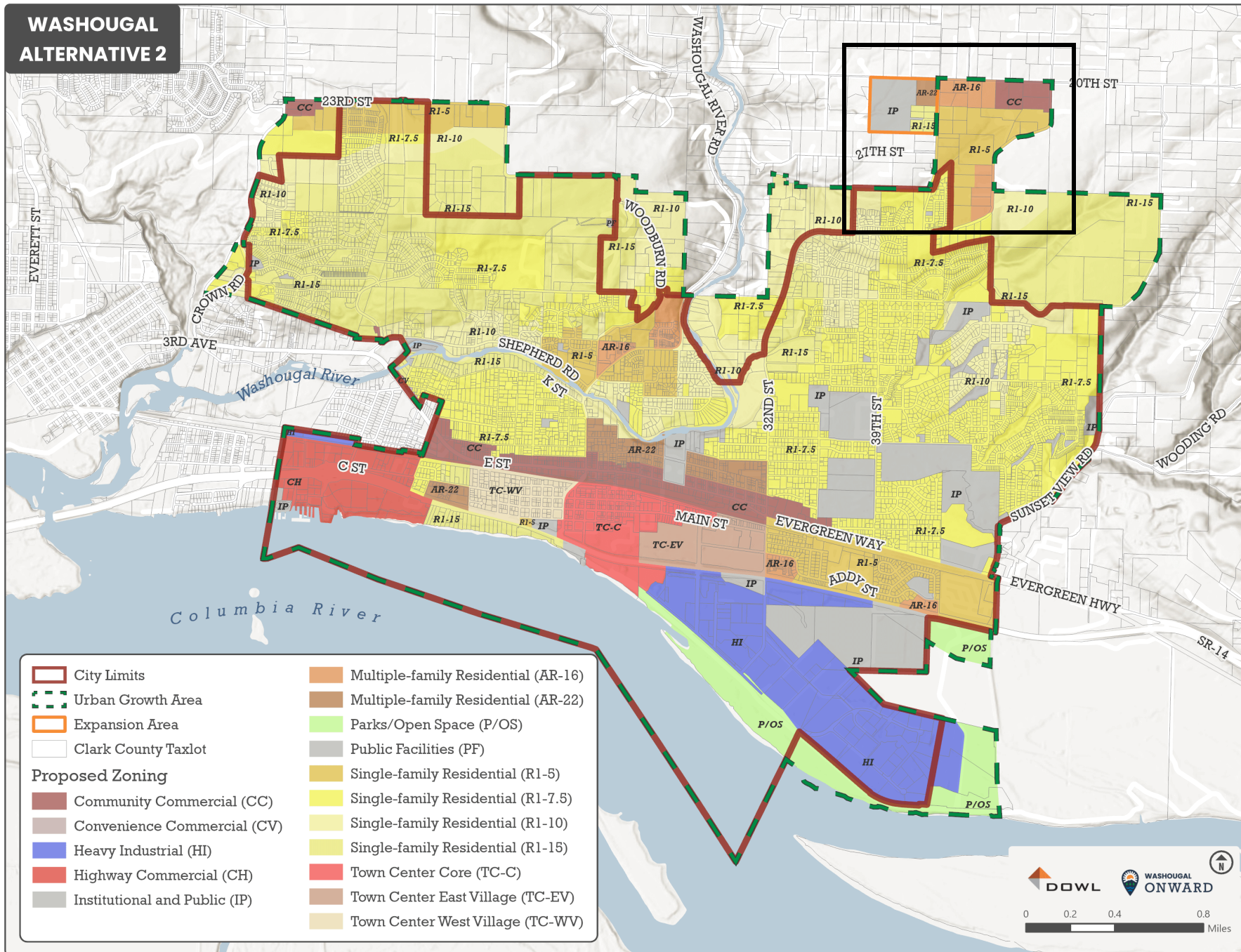
WASHOUGAL ALTERNATIVE 1



Alternative 1

- Implements the NE and NW UGA subarea zoning
- Includes the UGA expansion area
- Adjusts zoning in Port to reflect land swap with United States Army Corps of Engineers (USACE) at Steigerwald Lake National Wildlife Refuge
- Multifamily housing will occur in Commercial and Town-Center Districts
- Middle housing and ADU regulations will increase housing yield in residential zones
- Approximately 1,887 new jobs
- Approximately 7,207 new housing units
 - 34% of units < 80% AMI
 - 66% of units > 80% AMI

WASHOUGAL ALTERNATIVE 2



Alternative 2

- Implements NW UGA subarea zoning recommendations
- ***Proposes changes to zoning in the NE UGA***
 - ***Increases land for commercial use***
 - ***Adds multi-family residential land***
- Includes the expansion area
- Adjusts zoning in Port to reflect land swap with USACE
- Multifamily housing will occur in Commercial and Town-Center Districts ***but at a lesser percentage rate***
- Middle housing and ADU regulations will increase housing yield in residential zones
- Approximately 2,219 new jobs
- Approximately 6,367 new housing units
 - 31% of units < 80% AMI
 - 69% of units > 80% AMI

Land Use Capacity Assumptions

	Zoning District	Existing Land Use Plan	Alternative 1*	Alternative 2*
Commercial/ Town Center Zones	Town Center Districts (TC-C, TC-EV, TC-WV)	No mix assumed	60% housing 40% employment	40% housing 60% employment
	Commercial Districts (CC, CH, CV)	No mix assumed	50% housing 50% employment	25% housing 75% employment
Residential Zones	R1-5 Zone	8.7 units per acre	19 units per acre	16 units per acre
	R1-7.5 Zone	5.8 units per acre	11 units per acre	10 units per acre
	R1-10 Zone	4.3 units per acre	8 units per acre	7 units per acre
	R1-15 Zone	2.9 units per acre	5 units per acre	4 units per acre
	AR-16 Zone	16 units per acre	16 units per acre	
	AR-22 Zone	22 units per acre	22 units per acre	
Industrial Zones	HI	9 jobs per acre No housing		

*Alternatives 1 and 2 reflect increased density as a result of middle housing and accessory dwelling unit legislation.

Projected Housing and Job Yield

Alternative #1

- 1,887 new jobs
- 7,207 new housing units

Alternative #2

- 2,219 new jobs
- 6,367 new housing units

Questions / Discussion



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Next Steps



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Next Steps – Land Use Alternatives

February 26th

- Land Use Alternatives Public Presentation
- Online StoryMap of alternatives

March 12th

- Public comment period on land use alternatives concludes

March 24th

- Joint CC and PC Workshop to discuss alternatives and potential refinement
- Preferred Land Use Alternative identification

April 14th

- Resolution to approve local preferred land use alternative at City Council regular meeting